

United States Department of the Interior
National Park Service

739



NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

1. NAME OF PROPERTY

HISTORIC NAME: Chapman House
OTHER NAME/SITE NUMBER: NA

2. LOCATION

STREET & NUMBER: 901 East 12th Street
CITY OR TOWN: Austin VICINITY: N/A NOT FOR PUBLICATION: N/A
STATE: Texas CODE: TX COUNTY: Travis CODE: 453 ZIP CODE: 78702

3. STATE/FEDERAL AGENCY CERTIFICATION

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Mark Wolfe
Signature of certifying official Date 7/21/10
State Historic Preservation Officer, Texas Historical Commission
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of commenting or other official Date _____

State or Federal agency and bureau

4. NATIONAL PARK SERVICE CERTIFICATION

I hereby certify that the property is:

- entered in the National Register See continuation sheet.
- determined eligible for the National Register See continuation sheet.
- determined not eligible for the National Register.
- removed from the National Register See continuation sheet.
- other, explain See continuation sheet.

Edson H. Ball Signature of the Keeper Date of Action 9-9-10

5. CLASSIFICATION

OWNERSHIP OF PROPERTY: Private

CATEGORY OF PROPERTY: Building

NUMBER OF RESOURCES WITHIN PROPERTY:	CONTRIBUTING	NONCONTRIBUTING	
	1	0	BUILDINGS
	0	0	SITES
	0	0	STRUCTURES
	0	0	OBJECTS
	<u>1</u>	<u>0</u>	TOTAL

NUMBER OF CONTRIBUTING RESOURCES PREVIOUSLY LISTED IN THE NATIONAL REGISTER: 0

NAME OF RELATED MULTIPLE PROPERTY LISTING: East Austin MRA

6. FUNCTION OR USE

HISTORIC FUNCTIONS: Domestic: Single Dwelling

CURRENT FUNCTIONS: Commerce/Trade: Business

7. DESCRIPTION

ARCHITECTURAL CLASSIFICATION: Other: Center-passage Plan

MATERIALS

FOUNDATION Wood
WALLS Wood
ROOF Asphalt
OTHER NA

NARRATIVE DESCRIPTION (see continuation sheets 7-5 through 7-7).

National Register of Historic Places Continuation Sheet

Section 7 Page 5

Chapman House
Austin, Travis County, Texas

Narrative Description

The Chapman House is a center-hall dwelling built c.1885 along East 12th Street in Austin, Texas. The house is a simple frame structure modified through the early 20th century by addition of rooms to the rear of the original dwelling, which originally featured two rooms and a central hall. Subsequent additions lengthened the building's central hall and reveal the evolution of the building through the 1930s. The house was rehabilitated in 2007-08 for use as a private office, utilizing federal preservation tax credits. The certified rehabilitation retained the building's historic character-defining features, including the horizontal lapped siding, wood multi-light windows, interior paneled wood doors, and pine floors.

The Chapman House is in the Robertson Hill neighborhood of East Austin. Through the mid-20th century, the neighborhood was densely developed with mostly frame vernacular dwellings and a mixture of larger institutional buildings such as schools and churches. Today, the neighborhood is sporadically marked by empty lots and newer residential construction throughout, with large-scale mixed use development along the 11th Street commercial corridor. Several historic-age houses have been moved in from other parts of the city, but the Chapman House remains on its original site. The Chapman House faces north on east 12th street, one block east of Interstate 35. The immediate Robertson Hill neighborhood was surveyed by the Austin firm Hardy Heck Moore & Myers in 2000, as part of a larger survey of East Austin. A follow-up report prepared by Preservation Central in 2006 indicated that because the Robertson Hill neighborhood lacked the concentration of eligible resources to constitute an eligible historic district, historic properties in the neighborhood should be evaluated for individual listing in the National Register.

The house is set on a southward-sloping lot with mature trees, bounded on the east by Branch Street. The house is an excellent local example of a Center-passage Plan dwelling. Changes to the rear of the building, including the additions of rooms that transformed the building into a modified L-plan dwelling occurred prior to 1901, but later additions provided extra living space at the rear of the house and lengthened the central hallway. The evolution of the house is apparent from variations in windows and doors throughout the house, as well as exposed exterior siding forming the hallway door leading from the front rooms to the second pair of rooms to the south. As most changes were made in the early 20th century, they were considered to be historic and were retained through the building's rehabilitation, completed in 2008. The south portion of the lot has been converted into a driveway and parking area, and the entire lot is surrounded by a metal picket fence.

The foundation is pier and beam, with a combination of cedar posts and brick piers in the oldest sections of the house, and metal poles under the later additions. There is no subfloor. Due to the slope of the site, the crawlspace varies from 1½ feet at the north end, to 5½ feet on the south side. Prior to the rehabilitation of the building, the exterior had been covered by asbestos siding. The original wood siding was intact beneath the asbestos, and is now the exposed surface material. Most of the siding was preserved and repainted, while deteriorated sections were replaced in kind. The original roof was side-gabled with a hipped roof porch added just under the north soffit. Two gables intersect the original gable on the east and west halves of the building, forming a valley in the center.

The folk vernacular building has simple detailing. Original features include exterior wood siding, six-over-six double-hung windows, four-panel wood interior doors, and pine flooring. Two interior doorways feature multi-light operable transoms. The central hallway and two original rooms to the east feature a chair rail with quarter round top and bottom. The original surface-mounted locks with porcelain and glass knobs have been retained, and the original pine floors of the central hallway and front four rooms have been refinished. All of the windows are historic wood sashes, but they vary in size and placement from room to room. Most windows are six-over-six, double-hung, with the exception of the north

National Register of Historic Places Continuation Sheet

Section 7 Page 6

Chapman House
Austin, Travis County, Texas

windows, which are one-over-one. The rear addition features six-over-six windows, except for a solitary eight-over-eight window. The window trim varies, but all of it is painted wood. The dominant trim profile is 1x6 flat trim. The smaller windows are framed with machine-run shaped casing.

The primary (north) elevation features a nearly full-width porch with a gabled roof, supported by wood box columns. The porch is enclosed by a wood rail with turned wood balusters. The columns and railing replaced the mid-20th century decorative metal porch supports during the recent rehabilitation. The building is accessed through a single central door topped by a two-light operable transom. The stained and varnished door features a large single panel and three vertical lights, and most likely dates to the early 20th century. Fenestration of the north elevation is not symmetrical: the east side features paired one-over-one double-hung sash windows, while the western half features a single one-over-one window. The west window is taller than the paired windows and top of the screen and trim is partially covered by the angled porch roof. The porch has a concrete deck, and appears to replaced a much narrower porch prior to 1935.

The west and east elevations reveal the original gable-end form of the house, with an addition extending to the south. On the west side, an original one-over-one window in the north portion of the building is located off center towards the front of the house. A visible seam in the siding delineates the front portion of the house from the rear additions to the south. Two smaller windows indicate the location of a rear bedroom (identified as an open porch on the 1901 Sanborn map), and the kitchen. The east elevation also features three windows: a six-over-six window centrally placed under the gable at the front of the house, an identical six-over-six window providing light to a central bedroom, and a small bathroom window. The rear (south) elevation of the building features the twin gable ends of the additions and an off-center door accessed by a small flight of stairs and a small entry porch covered by a hipped roof. The porch features the same boxed columns and turned wood banister as the front porch. An at-grade door leading to the crawlspace is located between the foot of the stairs and the southwest corner of the building.

The rooms of the house are laid out along a central hall. The hall in the front and central sections of the house features a wide painted chair rail. The front rooms are original to the house, dating to the late 19th century. The northeast room features a chair rail identical that in the hall, and a wood fireplace mantel on the south wall, which was plumbed for gas heater (no evidence of a fireplace at what was originally the rear of the house is extant). The fireplace opening has been infilled with tile. The east window is six-over-six double-hug sash, painted white, while the north windows are paired one-over-one sashes. The northwest room features one-over-one sash windows on the north and west walls. There is no chair rail in this room. Both front rooms are accessed by identical painted five-panel doors, with horizontal panels.

The second pair of rooms and hallway extension reveal the evolution of the house plan. The hall continues through the center of the house under a two-light transom, similar to the front door configuration. The original exterior siding is exposed on the south side, indicating that the doorway held an exterior door prior to 1901. There is a marked change in the floor, with wood running north-south, perpendicular to the east-west pattern in the front section of the house. The door to the east central room is located approximately two feet from the hall doorway, while the frame of door to the west central room directly abuts the north side of hall. The 1901 Sanborn map indicates that the west central room was a porch, which was filled in by the time of the 1922 Sanborn map. This change from a porch into a room likely explains the different door locations and the slightly shorter profile of the west room doorway. The west-central room is entered through a four-panel door (two tall panels over two short panels), and features a single six-over-six window, framed the same flat trim seen in the front rooms. The southwest corner of the room features a small closet, with a five-panel lower door and a single-panel upper door. A five-panel door on the south wall leads to the house's only bathroom, added in the final phase of the house construction. The bathroom was finished with 12" square tile during the recent rehabilitation. The

National Register of Historic Places Continuation Sheet

Section 7 Page 7

Chapman House
Austin, Travis County, Texas

east-central room is currently used as an office, and features a pine wainscot, which is unique to this room. The room has a single one-over-one window, and no closet.

The south section of the house is accessed by a double doorway, topped by a three-light operable transom. This section is occupied by the former kitchen to the west, and the bathroom on the east, accessed from the hallway which has been widened to serve as a foyer. The former kitchen was added before 1901, while the southeast corner of the building featured an L-shaped porch. This porch was most likely infilled with the bathroom and dining area in the 1940s, possibly after its sale to the Martinez family in 1948. The foyer and bathroom feature tiled floors, while the southwest room has a pine floor, with the wood running east-west. The southwest room is accessed by a four-panel door.

The building is in good condition, having been rehabilitated utilizing federal preservation tax credits. The changes to the rear of the house are of a scale that is compatible with the oldest portions of the house, and through age and association they contribute to the significance of the property. The Chapman House is good representation of the center-hall form, but it also exemplifies how residences evolve over time as owners add square footage and take advantage of modern conveniences and style.

8. STATEMENT OF SIGNIFICANCE

APPLICABLE NATIONAL REGISTER CRITERIA

- A** PROPERTY IS ASSOCIATED WITH EVENTS THAT HAVE MADE A SIGNIFICANT CONTRIBUTION TO THE BROAD PATTERNS OF OUR HISTORY.
- B** PROPERTY IS ASSOCIATED WITH THE LIVES OF PERSONS SIGNIFICANT IN OUR PAST.
- C** PROPERTY EMBODIES THE DISTINCTIVE CHARACTERISTICS OF A TYPE, PERIOD, OR METHOD OF CONSTRUCTION OR REPRESENTS THE WORK OF A MASTER, OR POSSESSES HIGH ARTISTIC VALUES, OR REPRESENTS A SIGNIFICANT AND DISTINGUISHABLE ENTITY WHOSE COMPONENTS LACK INDIVIDUAL DISTINCTION.
- D** PROPERTY HAS YIELDED, OR IS LIKELY TO YIELD INFORMATION IMPORTANT IN PREHISTORY OR HISTORY.

CRITERIA CONSIDERATIONS: N/A

AREAS OF SIGNIFICANCE: Architecture, Community Planning and Development

PERIOD OF SIGNIFICANCE: c.1900-1960.

SIGNIFICANT DATES: c.1900

SIGNIFICANT PERSON: N/A

CULTURAL AFFILIATION: N/A

ARCHITECT/BUILDER: unknown

NARRATIVE STATEMENT OF SIGNIFICANCE (see continuation sheets 8-8 through 8-11).

9. MAJOR BIBLIOGRAPHIC REFERENCES

BIBLIOGRAPHY (see continuation sheet 9-12)

PREVIOUS DOCUMENTATION ON FILE (NPS): N/A

preliminary determination of individual listing (36 CFR 67) has been requested.

- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey #
- recorded by Historic American Engineering Record #

PRIMARY LOCATION OF ADDITIONAL DATA:

- State historic preservation office (*Texas Historical Commission*)
- Other state agency
- Federal agency
- Local government
- University
- Other -- Specify Repository:

National Register of Historic Places Continuation Sheet

Section 8 Page 8

Chapman House
Austin, Travis County, Texas

The Chapman House at 901E.12th Street in Austin, Texas, is a good example of a vernacular central passage dwelling in the Robertson Hill neighborhood of East Austin. Related to the historic context *Historic Properties of East Austin*, the Chapman House derives its primary significance from its architectural form, and its associations with the settlement of East Austin in a period of economic growth and community development, when recent European immigrants and the families of former slaves lived in close proximity. The Chapman House is nominated to the National Register at the local level under Criterion C in the area of Architecture, and Criterion A, in the area of Community Planning and Development, as a good example of a once-common folk style Austin, and as a building that exemplifies the settlement patterns and changing demographics of a dynamic east side neighborhood. The house was rehabilitated in 2008 following the Secretary of the Interior's Standards and is currently occupied by a professional service consulting firm.

East Austin: A Pattern of Growth and Settlement¹

The 1850 U.S. Census, the first to cover the state of Texas, reported just over 600 people living in the Austin area. Ten years later, in 1860, the population had reached nearly 4,000 and though the town still retained some of its frontier flavor, it had taken its first steps towards becoming a full-fledged city. In the years following Reconstruction (c.1865-1876), a rapid influx of immigrants from the eastern U.S. and parts of Europe, along with the arrival of the railroad in 1871, combined to usher in a new, more intense period of growth in Austin. Their numbers added steadily to an already ethnically and racially diverse population that, by 1880, had swelled to over 11,000 people. As the city grew, so, too, did the need for space. Austin's original 1839 settlement boundaries were quickly pushed in all four cardinal directions, and the city's had expanded substantially by the 1870s.

Prior to 1870, the area east of downtown and north of the Colorado River, known today as East Austin, was still, with the exception of a few large homesteads, sparsely inhabited. As the city began its accelerated growth in the late 19th century this picture began to change. Landowners, looking to capitalize on the area's potential for economic and residential growth, began subdividing their larger holdings and selling the smaller lots to arriving settlers. By 1880, there were approximately 12 large subdivisions in East Austin, many of which were located near the new rail line or major east-west thoroughfares. The area's quiet, rural setting, just a short distance from downtown, and relatively inexpensive property attracted newcomers. Developing businesses, including those dependent on raw materials being shipped by rail (i.e. lumberyards, mills) provided jobs for would-be residents. As a result, East Austin grew quickly and by the turn of the century, had become fully developed with business, residences, and institutions.

The demographics of late 19th century East Austin were characterized by an ethnically and racially diverse population. Typically during this period, newly arriving white settlers formed themselves into ethnically-bonded neighborhoods that articulated along their perimeters with a number of long-standing black settlements. For example, by the turn-of-the-20th century, the E. 12th Street corridor had developed into a predominantly Anglo and German working-class sector. The area just to the south, known as Robertson Hill today, was largely African-American, having grown out of a previously established Freedmen's community.

¹ Adapted from Surte, Aparna Suhas, and Gregory Smith, *Limerick-Frazier House, Austin, Travis County, Texas*. National Register of Historic Places nomination, on file with the Texas Historical Commission, 2004.

National Register of Historic Places Continuation Sheet

Section 8 Page 9

Chapman House
Austin, Travis County, Texas

Robertson Hill

The Robertson Hill neighborhood is bounded by East 10th to the south, Navasota Street to the east, East 14th to the north and the east side of Interstate I-35, formerly east Avenue, to the west. This neighborhood lies just to the east of the original plat of the City of Austin, and is named after Dr. J.W. Robertson, who purchased the property shortly after statehood and divided it into building lots after the Civil War. Most historic-age properties in the neighborhood are single-story vernacular frame residences, although a few high style residences and institution buildings are scattered through the area. The 1935 Sanborn Fire Insurance Co. map, depicts the neighborhood as being densely developed with single-story frame dwellings, with a few brick and masonry buildings along the commercially-developed 11th Street corridor.²

During Reconstruction, the Robertson Hill neighborhood became the home to a largely African-American population, in the area just to the south of the Chapman house, bounded to the north by Catalpa Street. East 12th Street and East 11th Street were among the first defined roads in East Austin, and probably date to c.1871, with the arrival of the first railroad. They are identified on Augustus Koch's 1873 bird's-eye-view map, and although 19th century Sanborn maps don't detail buildings on the east side, these streets are shown on Sanborn index maps dating to 1884. In addition to the concentration of African-Americans who first settled a portion of Robertson Hill beginning in the late 1860s, immigrant families – many of German, Swedish, Irish, and Italian descent – began settling in the vicinity in the 1870s. While southern families and Anglos would be less inclined to live in close proximity to African-Americans, the inexpensive property and proximity to the city center made it appealing to immigrants looking to get a new start in Texas. By the late 1880s, the north part of the neighborhood along 11th and 12th streets was densely settled, with whites and African Americans living in close proximity. At the turn of the century, East 12th Street and the streets to the north were predominantly settled by working class white families.³

Changing Demographics of East Austin⁴

A large demographic shift took place in Austin during the early 20th century, with the nearly wholesale displacement of Austin's black population into East Austin neighborhoods. During the years after Reconstruction (1865-1876), Austin began a pattern of growth that would persist into the 20th century, as white families moved into the hilly region of west Austin, displacing extant Black communities in the process. Forced to find new homes, many African-American residents migrated to the less densely populated areas east of East Avenue (now IH-35). The gradual relocation of Black neighborhoods was not immediate and continued into the early part of the 20th century. A series of maps published in a 1979 study conducted by the Austin Human Relations Commission offers an overview of this demographic phenomenon: the 1880 map of black households in Austin shows a city-wide distribution, but by 1910, this pattern had changed significantly, with black households becoming increasingly concentrated in East Austin.

After the turn-of-the 20th century, African American communities west of downtown Austin became the target of discriminatory practices designed specifically to displace African American landowners. Zoning laws prohibiting the raising of livestock within city limits and termination (or non-renewal) of property leases were two of the more common tactics. Insurance companies and banking institutions employed a policy of "red-lining" whereby entire African

² Myers, Terri, et al. *East Austin Historic Sites Inventory – Robertson Hill Survey Report* (2008), p. 5.

³ *Ibid*, pp. 8-9

⁴ Adapted from Surte, Aparna Suhas, and Gregory Smith, *Limerick-Frazier House, Austin, Travis County, Texas*. National Register of Historic Places nomination, on file with the Texas Historical Commission, 2004.

National Register of Historic Places Continuation Sheet

Section 8 Page 10

Chapman House
Austin, Travis County, Texas

American communities or neighborhoods were identified as 'high risk' areas and refused loans or insurance based on this categorization. Black schools in West Austin were either shut-down or moved to the east. In 1928, city planners took the agenda one step further, composing a city planning document that specifically called for the creation of a distinct "Negro" district in East Austin, encouraging the relocation of churches and schools to the east side. Prominent Black institutions such as Samuel Huston College at E. 12th Street and East Ave., and St. Peter's Methodist on the corner of Catalpa and Curve streets, drew African Americans to this area, and along with students and families came Black-owned businesses. The pattern quickly became self-sustaining. Regardless of the mechanism, by 1940, the nearly wholesale displacement of the black population into East Austin was almost complete. As African American families moved into the east side, white families moved out, often replaced by Mexican families. In 1931, the Mexican Playground and Park was established on the east side, indicating that the city-mandated passive discrimination faced by Black families also applied to Hispanics. Slum clearance around Republic Square in downtown Austin – the home to Mexican families since the late 19th century – resulted in the herding of these families into east and South Austin. This continuing demographic shift is illustrated by the example of the Chapman House, owned by an Anglo family for the first half of the 20th century, and owned and occupied by a family of Mexican descent beginning in 1948.

The Chapman House

The exact date of the house's construction, the identity of its builder, and the identity of its earliest occupants have not been determined, due to gaps in the historical record. The house may be the same as depicted in the 1887 map by Augustus Koch, leading the 2000 East Austin survey team (and subsequently City of Austin staff) to date the house to c.1885. The house appears on the 1901 Sanborn Map, but fire insurance maps published in 1894 and prior do not cover the East Austin neighborhoods. A thorough search of county and city deed records, tax records, mechanics liens and building permits has proven to be inconclusive, and as Austin city directories from the late 19th century are not indexed according to address, the provenance of the house prior to 1901 is unknown.⁵ Certain features, including the windows and siding are compatible with a c.1885 date of initial construction, with the house largely taking shaped as an extended Center-passage Plan (from one room deep to two rooms deep, with a kitchen annex) by 1935.

The building is named after owners William and Jessie Chapman. William L. Chapman, born in Missouri in 1862, is listed in the Austin City Directory as first living in the house on E. 12th street in 1903, moving there from 76 East Avenue. Chapman was a barber. The 1910 United States Census records indicate that the small dwelling housed eight adults and one child. William L. Chapman (age 47) is listed as the head of the household, with his wife Jessie (age 39), and their grown children Beulah (age 21), Richard (age 19), and Mattie (age 18). In addition to the immediate family, other residents included Beulah Sibley (age 16), Hazel Sibley (age 3), Jessie Sibley (age 21), and Murdow McAngus (age 21). William Chapman died c.1910, and his widow Jessie continued to live in the house. The 1920 census indicates that Jessie Chapman lived with her daughter Mattie, Mattie's husband Roy Raser (employed as a hotel steward) and their young child. In 1930, Jessie, working as a seamstress, is listed as the house's sole occupant. In 1948, Jessie sold the house to Steve and Julia Martinez for \$5000. Steve Martinez is listed in the 1952 city directory as an electrician at Samuel Huston College, after 1955 as an engineer at Holy Cross Hospital, and retired in the 1965 directory. In 1992, the property was transferred to their daughter Mary Ella Martinez Snell, who in 1996 transferred the property to Anderson Community Development.

⁵ The earliest known document regarding the property on record with the Travis County Clerk's office is the 1948 transfer of the property from Jessie Chapman to S.A. and Julia Martinez.

National Register of Historic Places Continuation Sheet

Section 8 Page 11

Chapman House
Austin, Travis County, Texas

In April 2004, the Urban Renewal Agency of the City of Austin took ownership of the property, and submitted a request to the City of Austin to change the zoning from "family residence" to "community commercial" and designate the property as a City of Austin Historic Landmark. The Austin Planning Commission unanimously approved the historic zoning, and the designation was approved in early 2005. In 2007, the current owner, Darrel Pierce of SNAP Properties, initiated the Rehabilitation Tax Credit application. The Technical Preservation Services Branch of the NPS certified that the property was eligible for listing in the National Register of Historic Places, and after the completion of the building's rehabilitation under plans drawn by Carter Designs Associates, the NPS certified the project in May 2008.

Significance of the Chapman House

The Historical Resources Survey of East Austin identified a wide range of building types and forms. The majority of houses in the mostly-residential Robertson Hill neighborhood date to the early through mid-20th century. Houses dating to the late 19th century are uncommon (less than a half dozen identified in the survey), making the Chapman House a rare example of its age; of the center-passage plan houses in the vicinity, the Chapman House displays the highest level of integrity, as other examples suffer from loss of historic windows and siding, and have incompatible additions visible from the primary elevation. The term "vernacular" is commonly accepted as meaning a local interpretation of a widely known form, and the Chapman House serves as a good example of a local application of the center-passage plan. The introduction of central hallways in American residential architecture came about as a means to clearly separate the private and public spaces of the dwelling. The hallway was an area where visitors were greeted and afforded further access to the house, but also allowed air to circulate through the center of the house, providing an area with seasonal uses. The plan was common in the eastern United States before the Texas Republic era, and is found in the earliest Texas houses built by Anglo settlers from the southeastern U.S. Center-passage plan houses are a common type found throughout central Texas, and the Chapman House displays characteristics common to vernacular interpretations of the form. Mid-19th century high-style examples often bear (depending on the period of construction) Federal and Greek Revival characteristics, including high style or simplified porch columns, elaborate or simplified entablatures, and central doors with transoms and sidelights. By the end of the 19th century, Late Victorian period elements became more common, with turned columns, balusters, and sawn brackets replacing more classically-derived ornament. In working-class houses such as those found in the Robertson Hill neighborhood, ornamentation was simplified if present at all, and in the case of the Chapman House, detailing is limited to simple squared trim on the exterior and interior around the windows, and plain operable transoms which the vital function of providing ventilation in the hot Austin climate. Like other center-passage homes in the neighborhood, the Chapman House is of frame construction with side gables, and has additions placed on the secondary elevation. These additions were necessary in the early 20th century, as the house was occupied by no fewer than nine individuals in 1910. The house at 901 E. 12th is good representation of the center-hall house form, but it also exemplifies how residences evolve over time as owners add square footage and take advantage of modern conveniences. The Chapman House also represents the racial and ethnic working-class mix of east side neighborhoods at the edge of segregated white middle- and upper-class city center in the late 19th and 20th centuries, and its history closely reflects the changing demographics of the Robertson Hill neighborhood through the mid-20th century.

National Register of Historic Places Continuation Sheet

Section 9 Page 12

Chapman House
Austin, Travis County, Texas

Bibliography

Austin City Directories: various 1872-1935. Austin, Texas.

Barkley, Mary Starr. *History of Travis County & Austin 1839-1899*. Steck Co, Austin 1963.

Carter Design Associates, *910 East 12th Street Historic Renovation (2006)*. Plans on file with the Texas Historical Commission.

City of Austin Rezoning Ordinance 050127-Z-9 and supplemental files, granting Austin Historic Landmark designation to the property at 901 E. 12th Street. Passed and approved January 27, 2005.

Freeman, Martha Doty. *Historic Resources of East Austin*. National Register multiple property nomination, 1985.

Humphrey, D.C. (2006). *The Handbook of Texas Online: Austin, Texas*.
<http://www.tsha.utexas.edu/handbook/online/articles/AA/hda3.html>.

Kearl, B.C. (1995). *Brief History of Austin*. <http://www.ci.austin.tx.us/library/ahc/briefhistory.htm>.

Koch, Augustus. Birdseye View of Austin, Texas. Map. 1873, 1887.

McAlester, Virginia & Lee. *A Field Guide to American Houses*. Alfred A. Knopf. New York, N.Y. 1984.

Myers, Terri, et al. *Historic Resources Survey of East Austin*, Volume 2: East 12th Street. (Austin, Texas: Hardy Heck Moore and Myers), 2000.

Myers, Terri, et al. *East Austin Historic Sites Inventory – Robertson Hill*, (Austin, Texas: Preservation Central), 2006.

Sanborn Map and Publishing Company. Austin, Texas. New York: The Sanborn Map and Publishing Company, Ltd. 1900, 1921, 1935, 1959.

Surte, Aparna Suhas, and Gregory Smith, *Limerick-Frazier House, Austin, Travis County, Texas*. National Register of Historic Places nomination, on file with the Texas Historical Commission, 2004.

Williamson, Roxanne Kuter. *Austin, Texas: An American Architectural History*. (San Antonio: Trinity University Press), 1973.

Public Records

Property tax records on file with the Travis County Central Appraisal District, Austin, Texas.

Special Warranty Deed (901 E 12th Instrument # 2004071160), on file with Travis County Clerk, Austin, Texas.

1910 United States Census Records, accessed through HeritageQuest.com.

10. GEOGRAPHICAL DATA

ACREAGE OF PROPERTY: Less than one acre

UTM REFERENCES	<u>Zone</u>	<u>Easting</u>	<u>Northing</u>
1.	14	622088	3349592

VERBAL BOUNDARY DESCRIPTION: The north portion of lot 20, George L. Robinson's Subdivision of Outlot 55, Division B, in the City of Austin, Travis County Texas, according to the map or plat of record in volume Z, page 599, Deed records of Travis County, less a portion conveyed to the city of Austin by Street deed dated April 29, 1978, in volume 5421, page 1415, Deed record of Travis County.

BOUNDARY JUSTIFICATION: Nomination includes all property under single ownership that is historically associated with the building.

11. FORM PREPARED BY

NAME/TITLE: Darrell W. Pierce, Property Owner (with assistance from Gregory Smith, THC)

ORGANIZATION: SNAP Management Group, Inc.

DATE: July 2, 2008

STREET & NUMBER: 901 East 12th Street

TELEPHONE: 512-477-8788

CITY OR TOWN: Austin **STATE:** Texas

ZIP CODE: 78702

ADDITIONAL DOCUMENTATION

CONTINUATION SHEETS

MAPS (see continuation sheets Figure-14 through Figure-18)

PHOTOGRAPHS (see continuation sheet Photo-24)

ADDITIONAL ITEMS (see continuation sheets Figure-19 through Figure-23)

PROPERTY OWNER

NAME: Darrell W. Pierce

STREET & NUMBER: 6928 Robert Dixon Dr.

TELEPHONE: 512. 802-7699

CITY OR TOWN: Austin

STATE: Texas

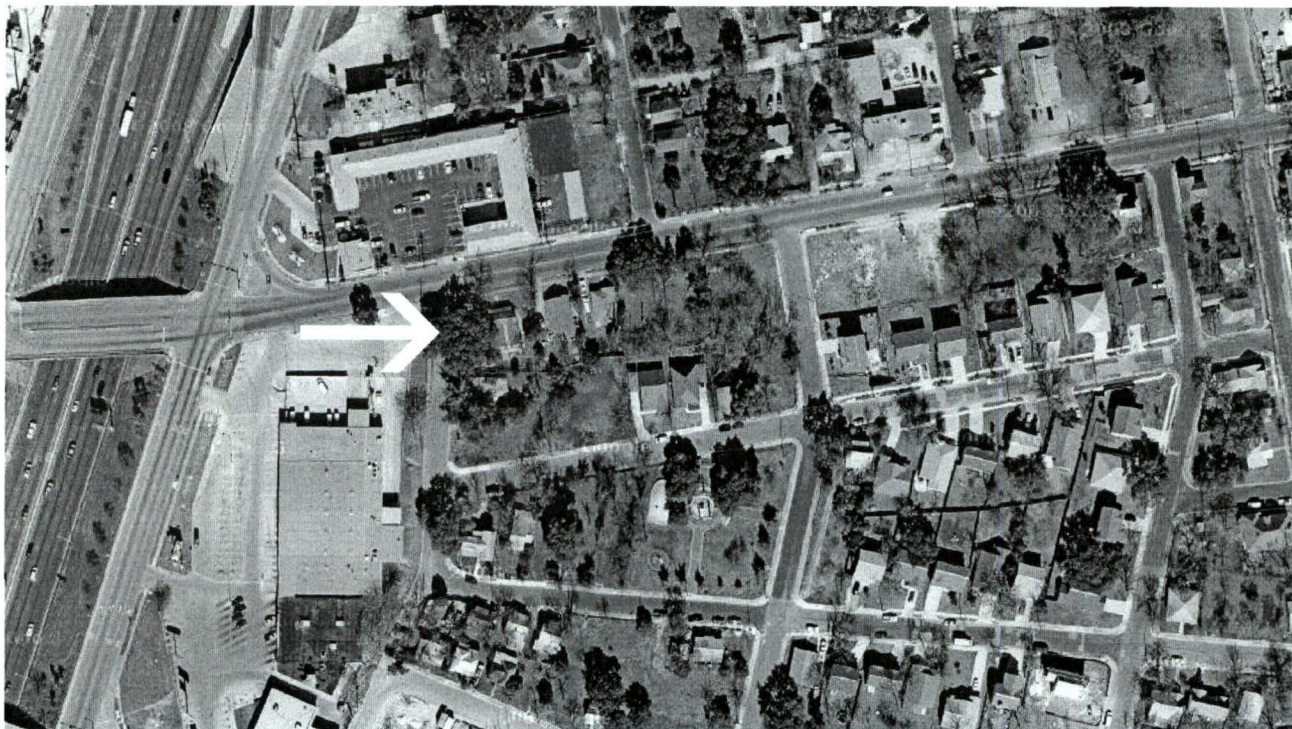
ZIP CODE: 78749

National Register of Historic Places Continuation Sheet

Section Figure Page 13

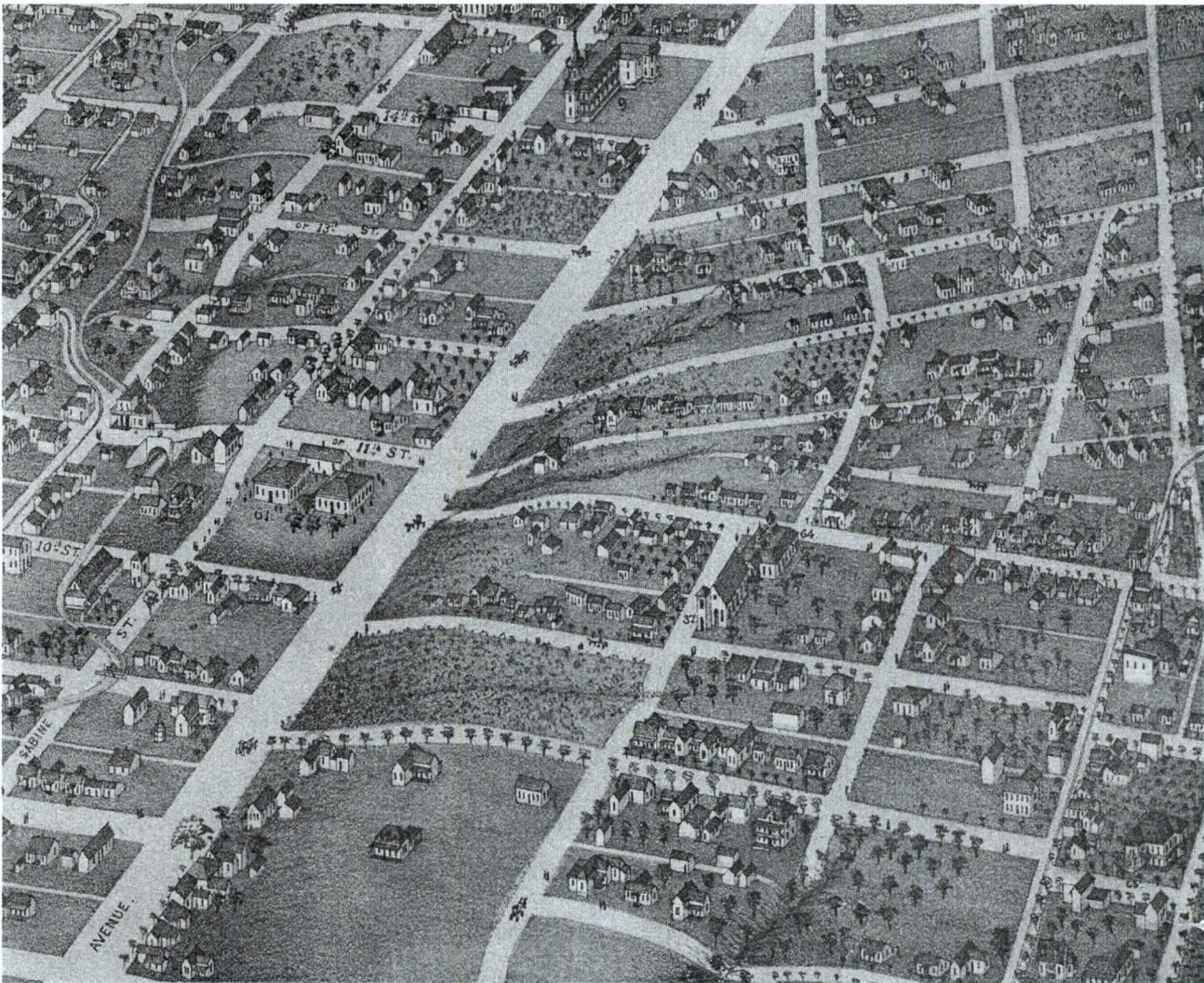
Chapman House
Austin, Travis County, Texas

Aerial photograph, from Google Maps, accessed October 30, 2009. Chapman House indicated by arrow.



National Register of Historic Places Continuation Sheet

Augustus Koch Map of Austin, Texas, 1887 (detail)

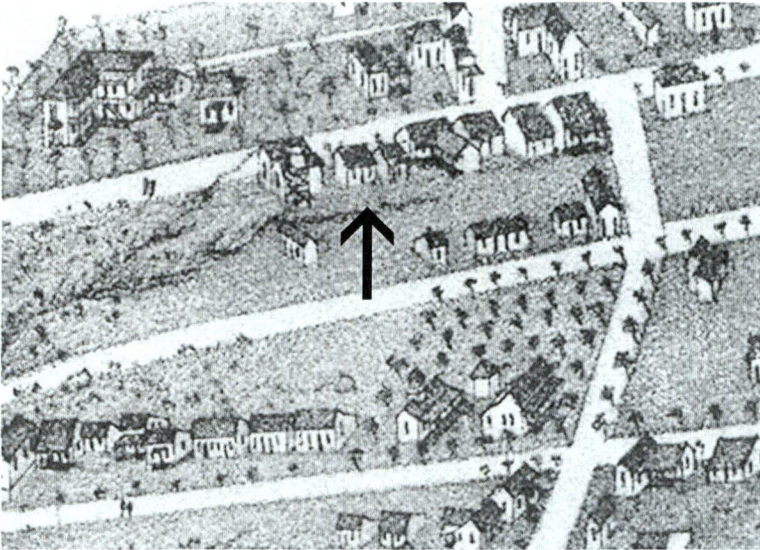


National Register of Historic Places Continuation Sheet

Section Figure Page 15

Chapman House
Austin, Travis County, Texas

Augustus Koch Map of Austin, Texas, 1887 (detail)



East 12th Street.

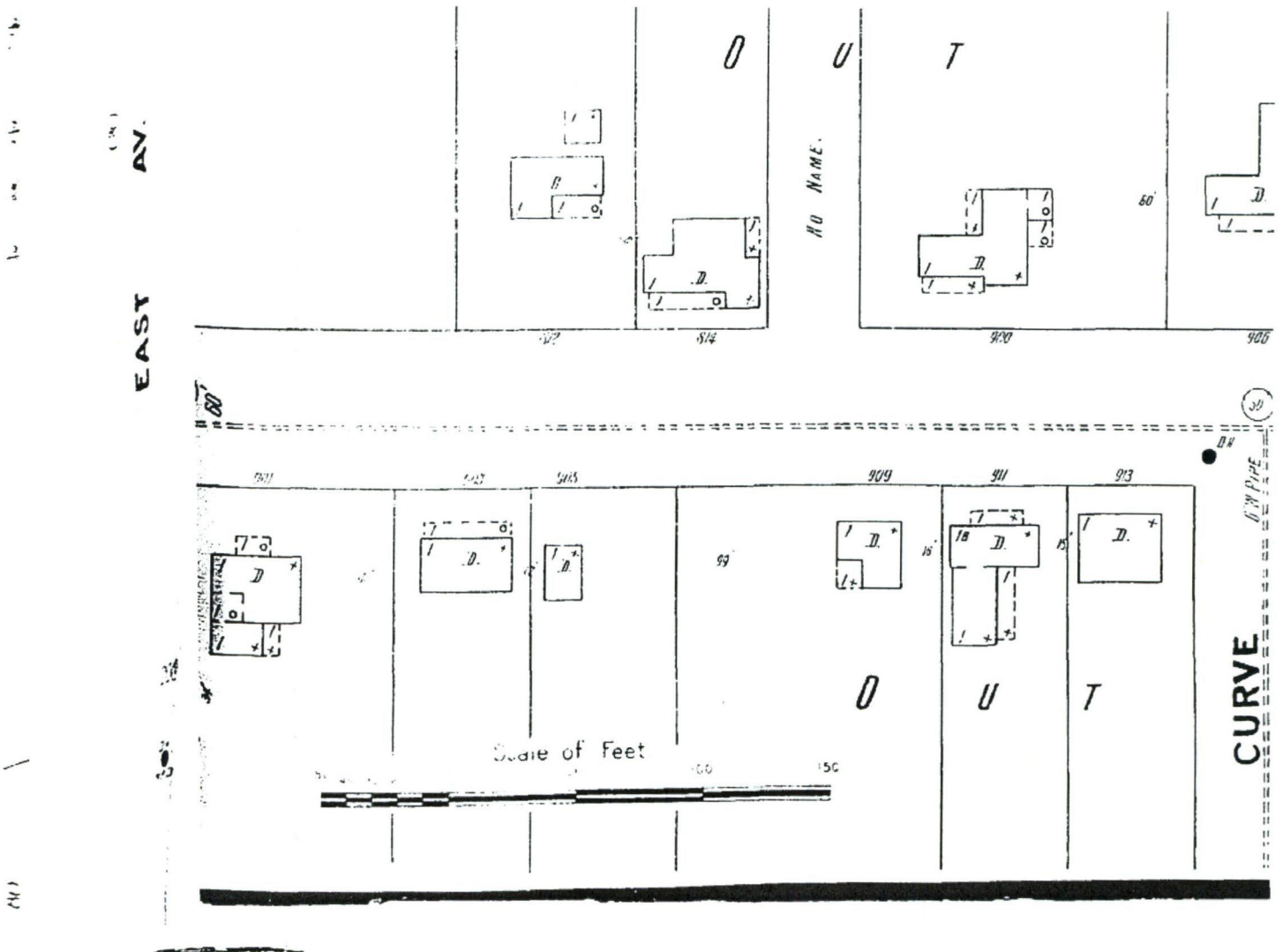
Location of Chapman House indicated by arrow.

National Register of Historic Places Continuation Sheet

Chapman House
Austin, Travis County, Texas

Section Figure Page 16

1901 Sanborn Fire Insurance Map. Chapman House at lower left, displaying narrow front porch.



National Register of Historic Places Continuation Sheet

Chapman House
Austin, Travis County, Texas

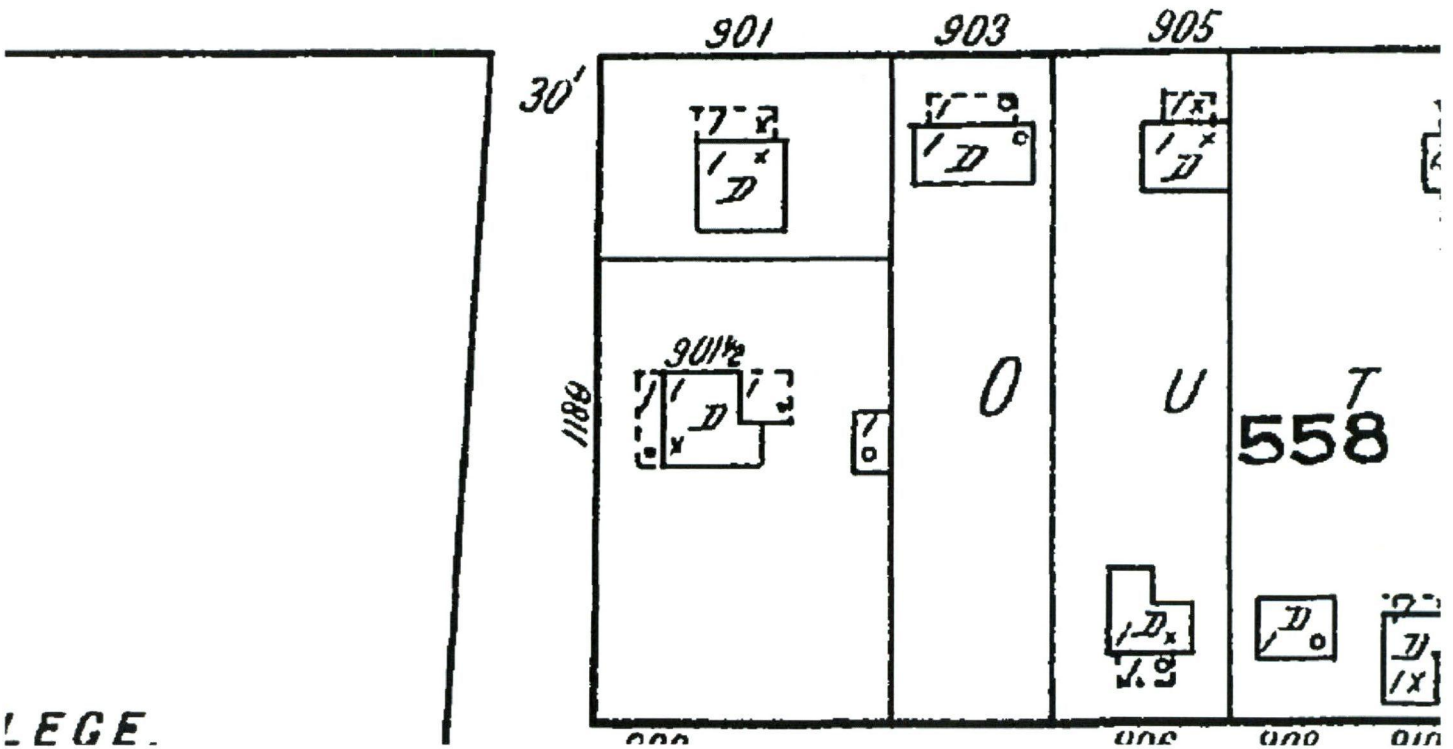
Section Figure Page 17

1922 Sanborn Fire Insurance Map. Chapman House at 901 E. 12th Street.

Comparison of buildings on 1901 and 1935 maps indicates that the 1922 scale is not accurate.



=



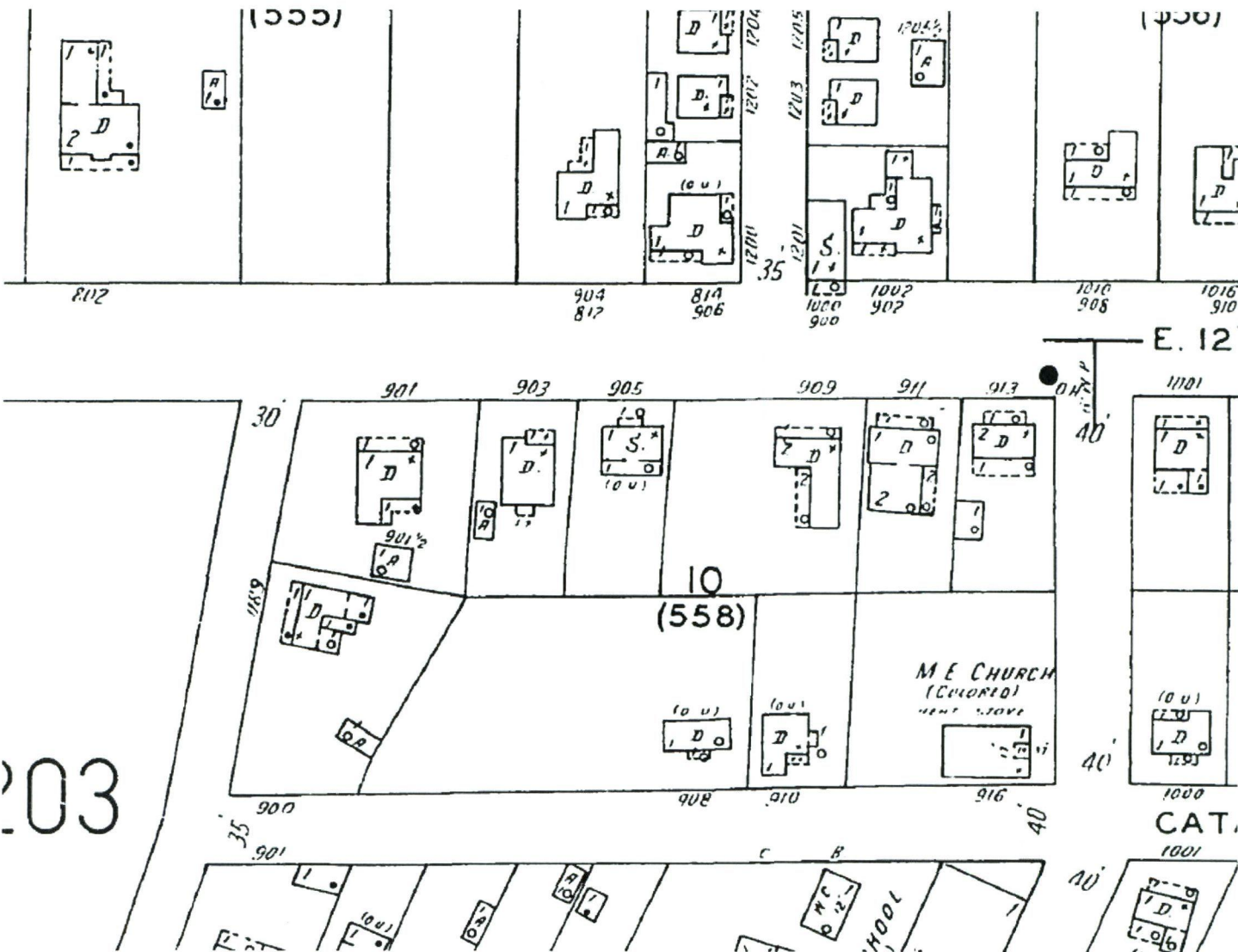
National Register of Historic Places Continuation Sheet

Chapman House
Austin, Travis County, Texas

Section Figure Page 18

1935 Sanborn Fire Insurance Map. Chapman House at 901 E. 12th Street.

Full-Width porch on the north; L-shaped porch to the southeast.

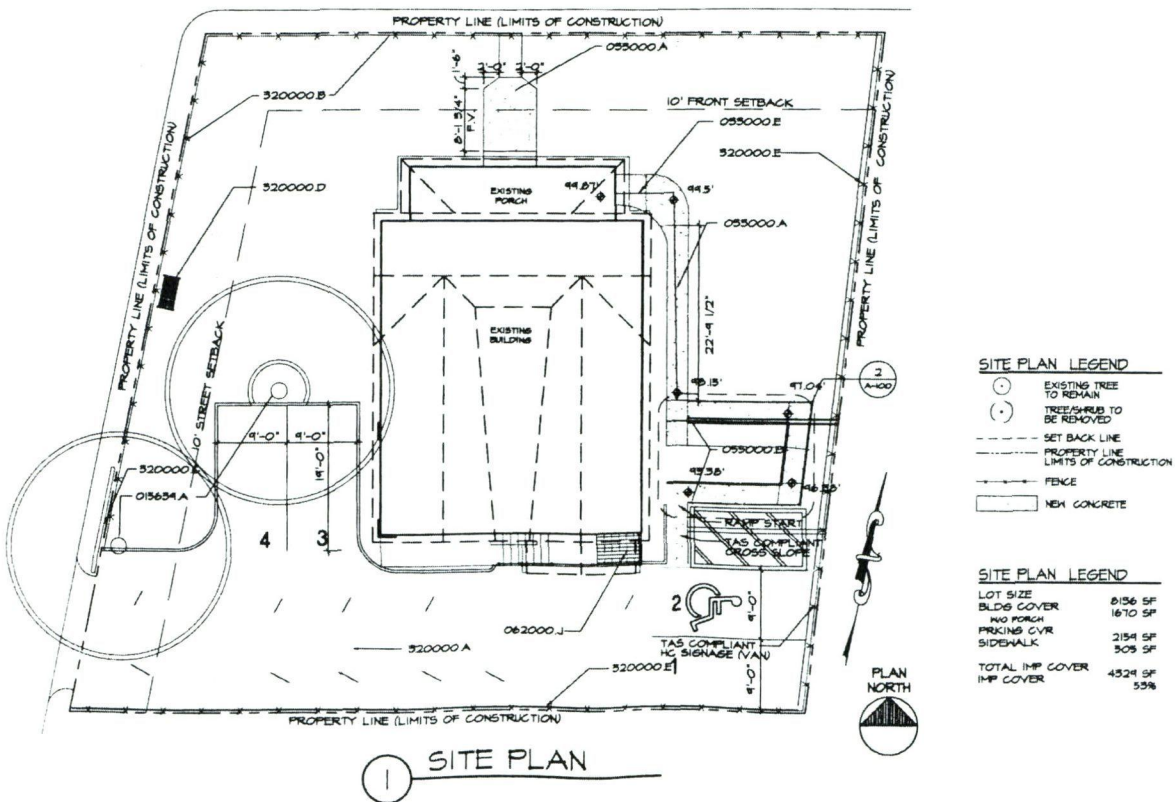


National Register of Historic Places Continuation Sheet

Section Figure Page 19

Chapman House
Austin, Travis County, Texas

Site Plan (from rehabilitation drawing by Carter Design Associates, 2006). No Scale



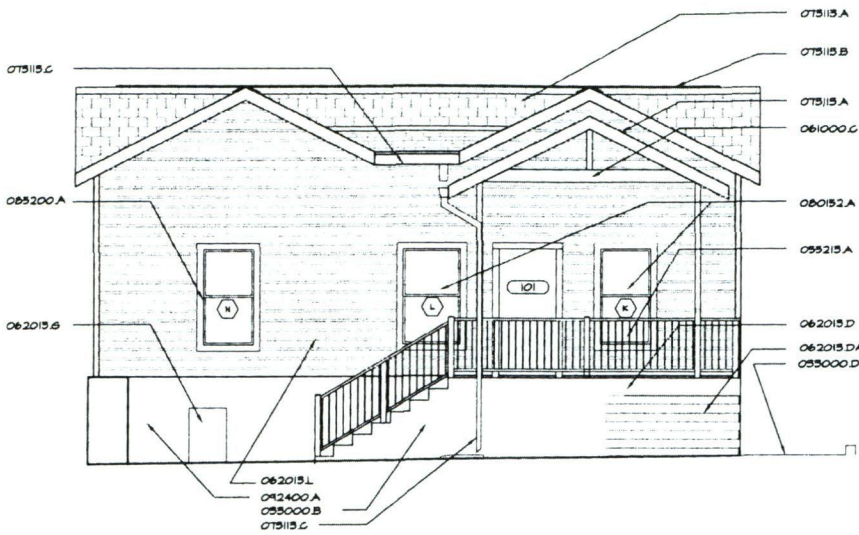
2
 1
 2
 4
 5

National Register of Historic Places Continuation Sheet

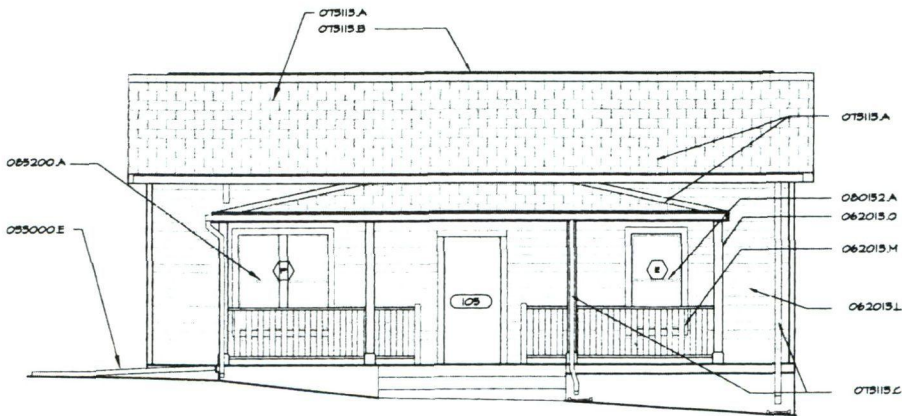
Section Figure Page 20

Chapman House
Austin, Travis County, Texas

South and North Elevations (from rehabilitation drawing by Carter Design Associates, 2006). No Scale



② SOUTH ELEVATION
SCALE 1/8" = 1'-0"



① NORTH ELEVATION
SCALE 1/8" = 1'-0"

KEYNOTES

DIVISION 2 - CONCRETE

- 063000.B PROVIDE NEW PARGE COAT AT ALL EXISTING CONCRETE SCHEDULE TO REMAIN EXPOSED
- 063000.D ADA 1:12 RAMP IN FRONT REFER TO SITE PLAN
- 063000.E 1:20 SLOPING SIDEWALK

DIVISION 3 - METALS

- 065000.A NEW 1 1/2" SQ. TUBE METAL RAILINGS WITH 1/2" SQ. TUBE BALLUSTERS AND HANDRAIL TOP RAIL HT. 42", HANDRAIL MAX. HT. 36"

DIVISION 6 - CARPENTRY

- 061000.C NEW ENTRY ROOF. REFER TO PLAN. EXPOSED PTD. FRAMING, MATCH EXISTING EAVES.
- 062015.D 2 X 6 WOOD DECKING WITH TRTD FRAMING.
- 062015.DA 3/4" X 6 TRTD PLANK EA. SIDE TO ENCLOSE STAIRS
- 062015.E REPAIR EXISTING GRAVEL SPACE ACCESS KEY NEW DOOR TO NEW ENTRY KEY INSTALL WEATHERSTRIPPING & PAINT
- 062015.L TYPE II SIDING THIS LOCATION REPAIR EXISTING AS NEEDED. PAINT, COLOR BY OWNER FROM APPROVED HISTORIC PALLETTE
- 062015.M WOOD RAILING AS SPECIFIED, PTD.
- 062015.O NEW WOOD COLUMNS. REFER TO DETAILS A-501

DIVISION 7 - TERNAL AND MOISTURE PROTECTION

- 07315.A PROVIDE NEW ASPHALT SHINGLES. AS SPECIFIED
- 07315.B RISE VENT AS SPECIFIED
- 07315.C GUTTER AND DOWNSPOUT REFER TO SPECIFICATION

DIVISION 8 - OPENINGS

- 060152.A REPAIR EXISTING WOOD WINDOWS PAINT, COLOR BY OWNER
- 062015.A PROVIDE NEW WOOD WINDOWS THIS LOCATION. SIZE TO EXISTING ROUGH OPENING

DIVISION 9 - FINISHES

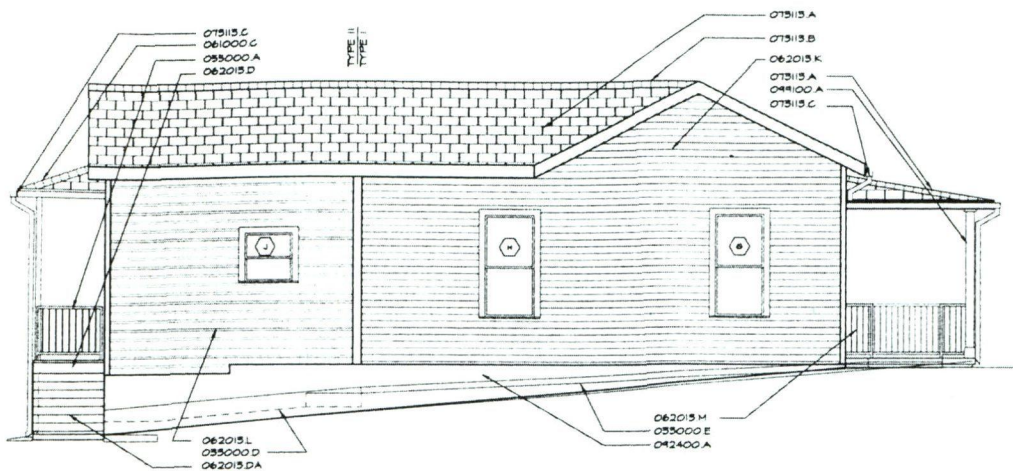
- 062400.A PATCH EXISTING STUCCO SKIRT TO MATCH EXISTING

National Register of Historic Places Continuation Sheet

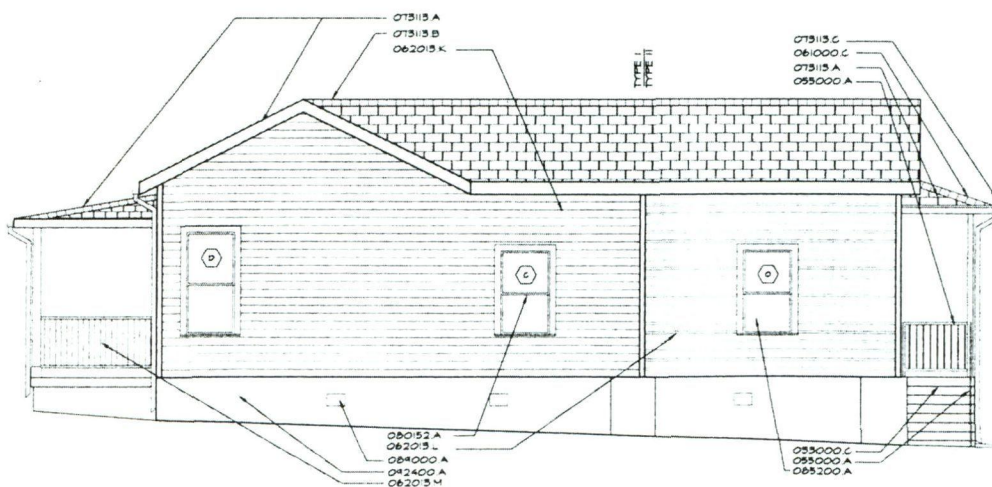
Section Figure Page 21

Chapman House
Austin, Travis County, Texas

East and West Elevations (from rehabilitation drawing by Carter Design Associates, 2006). No Scale



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



1 WEST ELEVATION
SCALE 1/8" = 1'-0"

KEYNOTES

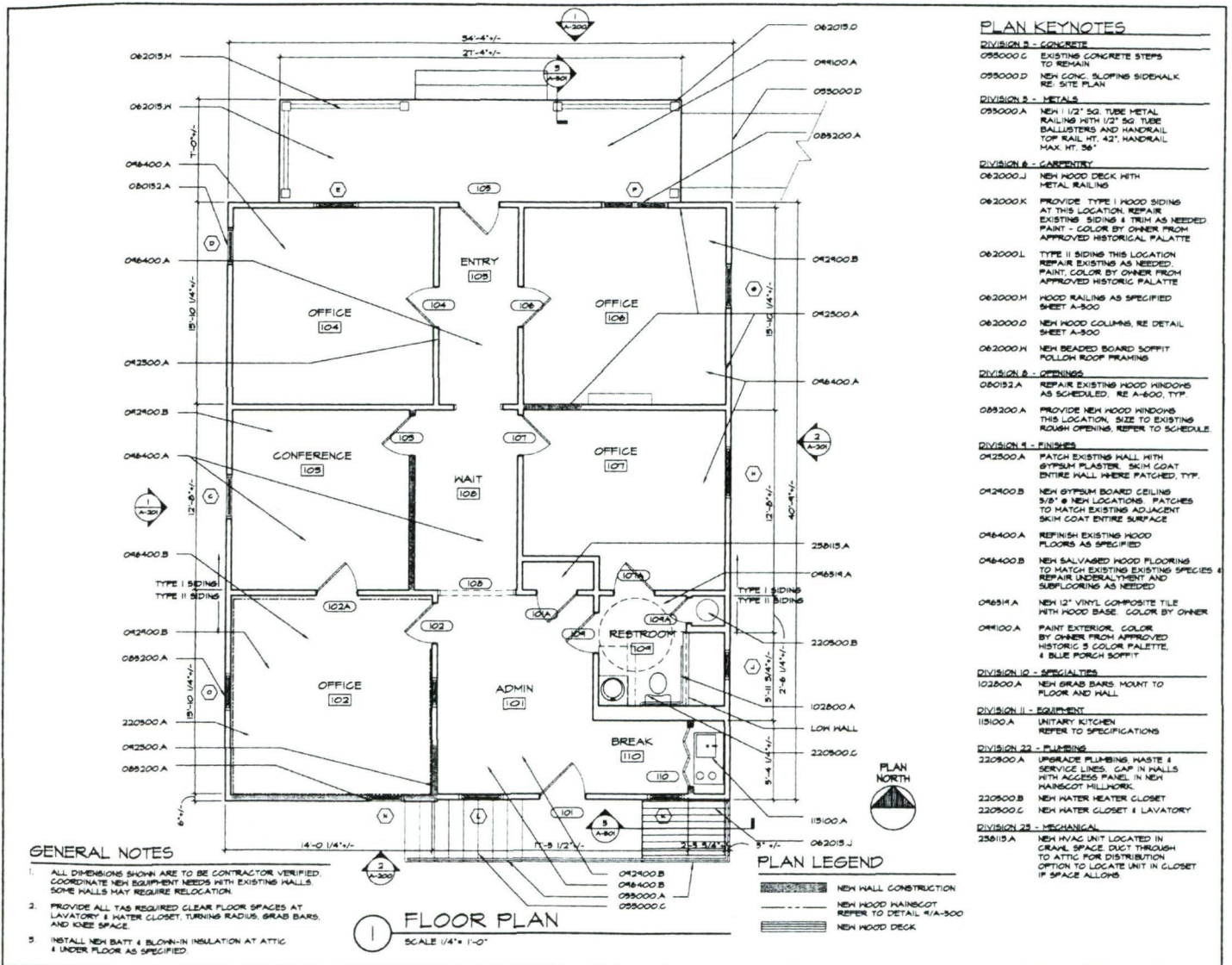
- DIVISION 5 - CONCRETE**
- 033000.C EXISTING CONCRETE STEPS
 - 035000.D ADA 1:12 RAMP IN FRONT REFER TO SITE PLAN
 - 085000.E 1:20 SLOPING SIDEWALK
- DIVISION 5 - METALS**
- 085000.A NEW 1 1/2" SQ TUBE METAL RAILINGS WITH 1/2" SQ TUBE BALLUSTERS AND HANDRAIL TOP RAIL HT. 42". HANDRAIL MAX. HT. 36"
- DIVISION 6 - CARPENTRY**
- 061000.C NEW ENTRY ROOF. REFER TO PLAN. EXPOSED PTD. FRAMING. MATCH EXISTING EAVES
 - 062015.D 2 X 6 WOOD DECKING WITH TRTD FRAMING.
 - 062015.DA 5/4" X 6 TRTD PLANK EA. SIDE TO ENCLOSE STAIRS
 - 062000.K PROVIDE TYPE I SIDING AT THIS LOCATION. REPAIR EXISTING AS NEEDED
 - 062000.L TYPE II SIDING THIS LOCATION. REPAIR EXISTING AS NEEDED. PAINT COLOR BY OWNER FROM APPROVED HISTORIC PALLETTE
 - 062000.M WOOD RAILING AS SPECIFIED, PTD.
- DIVISION 7 - THERMAL AND MOISTURE PROTECTION**
- 073115.A PROVIDE NEW ASPHALT SHINGLES AS SPECIFIED
 - 073115.B RIGE VENT AS SPECIFIED
 - 073115.C GUTTER AND DOWNSPOUT REFER TO SPECIFICATION
- DIVISION 8 - OPENINGS**
- 080152.A REPAIR EXISTING WOOD WINDOWS. PAINT COLOR BY OWNER
 - 085200.A PROVIDE NEW WOOD WINDOWS THIS LOCATION. SIZE TO EXISTING ROUGH OPENING
 - 084000.A PROVIDE NEW RIDGE SOFFIT AND GRAIN SPACE VENTS AS INDICATED REFER TO SPECIFICATIONS
- DIVISION 9 - FINISHES**
- 042400.A PATCH EXISTING STUCCO SKIRT TO MATCH EXISTING
 - 041100.A PAINT COLOR BY OWNER FROM APPROVED HISTORIC PALLETTE 3 COLOR PATTERN 4 BLUE PORCH CEILING

National Register of Historic Places Continuation Sheet

Chapman House
Austin, Travis County, Texas

Section Figure Page 22

Floor Plan (from rehabilitation drawing by Carter Design Associates, 2006). No Scale



National Register of Historic Places Continuation Sheet

Section Figure Page 23

Chapman House
Austin, Travis County, Texas

Chapman House before rehabilitation (from *Historic Resources Survey of East Austin*, September 2000).



National Register of Historic Places Continuation Sheet

Section Photo Page 24

Chapman House
Austin, Travis County, Texas

Chapman House
901 East 12th Street
Austin, Travis County, Texas
Photographed by Gregory Smith
June 2009
Digital images on file with the Texas Historical Commission
Printed by Texas Historical Commission staff on HP Premium Plus photo paper with HP Vivera inks

Photo 1
North elevation
Camera facing south

Photo 2
Northeast oblique
Camera facing southwest

Photo 3
Southwest oblique
Camera facing northeast

Photo 4
Front door, north facade
Camera facing south

Photo 5
Central hall, facing front door; exterior siding visible around doorway
Camera facing north

Photo 6
Central Hall, facing front door from rear foyer
Camera facing north

Photo 7
Northeast room
Camera facing northwest

Photo 8
Fireplace mantel, northeast room
Camera facing southwest

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
EVALUATION/RETURN SHEET

REQUESTED ACTION: NOMINATION

PROPERTY Chapman House
NAME:

MULTIPLE
NAME:

STATE & COUNTY: TEXAS, Travis

DATE RECEIVED: 7/29/10 DATE OF PENDING LIST: 8/23/10
DATE OF 16TH DAY: 9/07/10 DATE OF 45TH DAY: 9/12/10
DATE OF WEEKLY LIST:

REFERENCE NUMBER: 10000739

REASONS FOR REVIEW:

APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N
OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N
REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N

COMMENT WAIVER: N

ACCEPT RETURN REJECT 9.9.10 DATE

ABSTRACT/SUMMARY COMMENTS:

**Entered in
The National Register
of
Historic Places**

RECOM./CRITERIA _____

REVIEWER _____ DISCIPLINE _____

TELEPHONE _____ DATE _____

DOCUMENTATION see attached comments Y/N see attached SLR Y/N

If a nomination is returned to the nominating authority, the nomination is no longer under consideration by the NPS.



Chapman House
Austin, TRAVIS. Co. TX
photo 1



Chapman House
Austin, Travis Co. TX
photo 2



Chapman Hoose
Austin, TRAVIS Co. TX
photo 3



Chapman House
Austin, TRAVIS Co. TX
photo 4



Chapman House
Austin, TRAVIS Co. TX
photo # 95



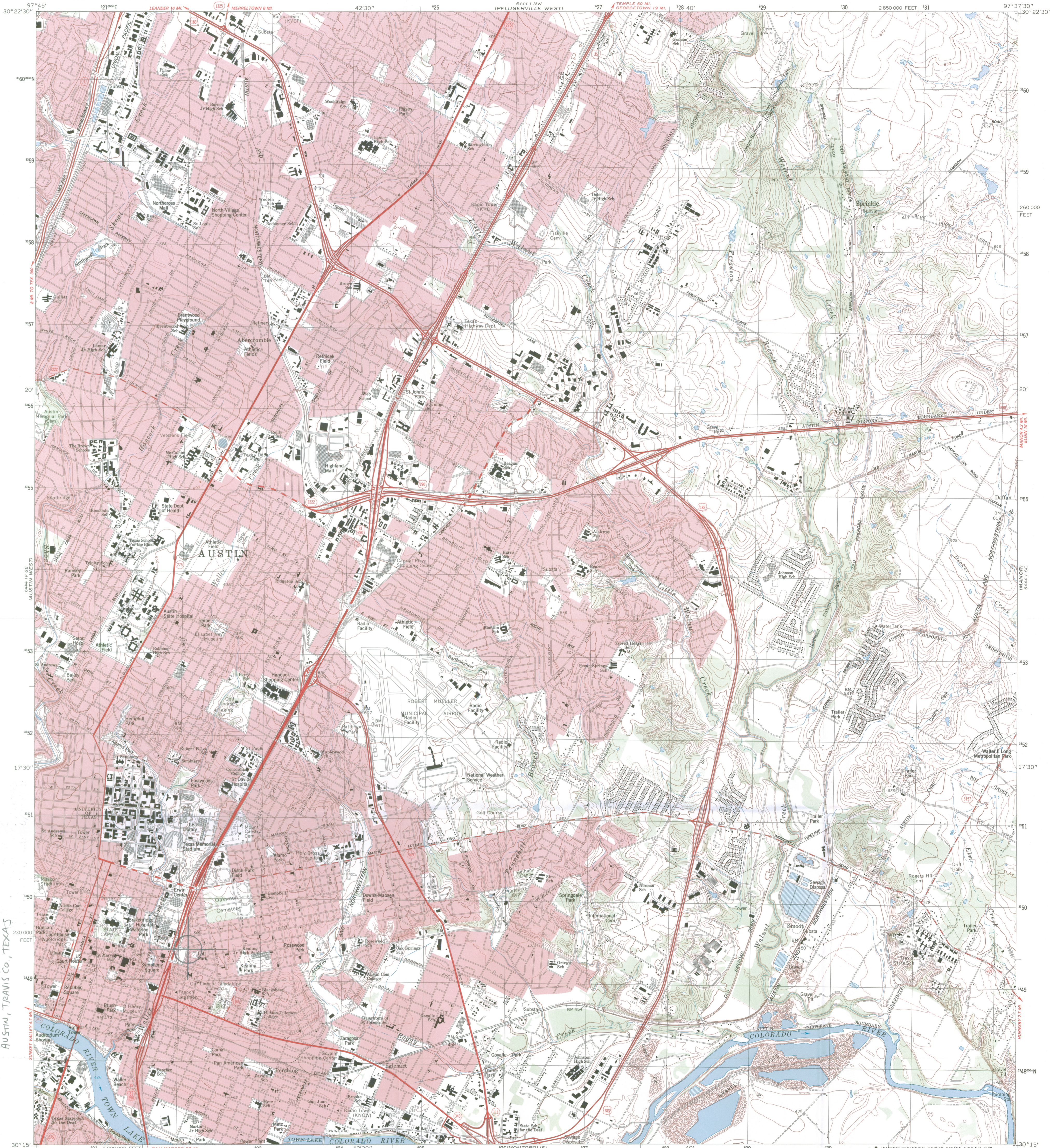
Chapman House
AUSTIN, TRAVIS CO. TX
photo 6



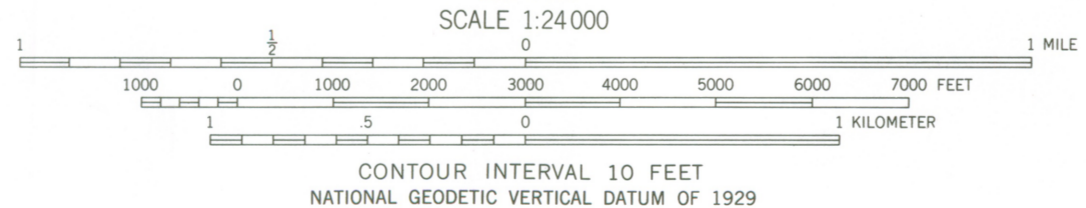
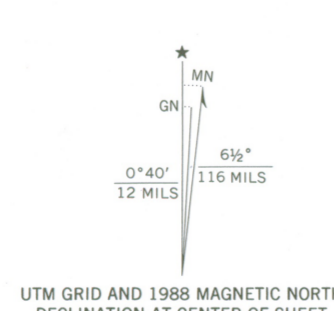
Chapman House
Austin, Travis Co. TX
Photo 7



Chapman House
Austin, Travis Co. TX
photo 8



Maped, edited, and published by the Geological Survey in cooperation with City of Austin
Control by USGS and NOS/NOAA
Topography by photogrammetric methods from aerial photographs taken 1952. Field checked 1954. Revised from aerial photographs taken 1985. Field checked 1986. Map edited 1988
Projection and 10,000-foot grid ticks: Texas coordinate system, central zone (Lambert conformal conic)
1000-meter Universal Transverse Mercator grid, zone 14
1927 North American Datum
To place on the predicted North American Datum 1983 move the projection lines 18 meters south and 28 meters east as shown by dashed corner ticks
Red tint indicates areas in which only landmark buildings are shown
Fine red dashed lines indicate selected fence lines



ROAD CLASSIFICATION

Primary highway, hard surface	Light-duty road, hard or improved surface
Secondary highway, hard surface	Unimproved road
Interstate Route	U. S. Route
	State Route

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS FOR SALE BY U.S. GEOLOGICAL SURVEY
DENVER, COLORADO 80225, OR RESTON, VIRGINIA 22092
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

QUADRANGLE LOCATION
3097-242

MILLER BLUEPRINT CO.
P. O. BOX 2065 78768
AUSTIN, TEXAS
1-800-252-3469

501 W. 6TH 78701
PH. #512-478-8793
FAX #512-474-7099

AUSTIN EAST, TEX.
30097-C6-TF-024
1988
DMA 6444 1 SW-SERIES V682

TEXAS HISTORICAL COMMISSION
real places telling real stories

TO: Linda McClelland
National Register of Historic Places

FROM: Gregory W. Smith, National Register Coordinator
Texas Historical Commission

RE: Chapman House, Austin, Travis County, Texas

DATE: July 23, 2010



- The following materials are submitted:

<input checked="" type="checkbox"/>	Original National Register of Historic Places forms:
	<input type="checkbox"/> Resubmitted nomination
	Multiple Property nomination form
<input checked="" type="checkbox"/>	Photographs printed from digital files
<input checked="" type="checkbox"/>	USGS maps
	Correspondence
<input checked="" type="checkbox"/>	Other: CD with digital images

COMMENTS:

- SHPO requests substantive review (cover letter from SHPO attached)
- The enclosed owner objections (do) (do not) constitute a majority of property owners
- Other:

